

CITY OF WESTMINSTER			
PLANNING APPLICATIONS COMMITTEE	Date 26 April 2016	Classification For General Release	
Report of Director of Planning		Ward(s) involved Bayswater	
Subject of Report	9 - 10 Northumberland Place, London, W2 5BS,		
Proposal	Excavation of sub-basement level extension with lightwell to rear, excavation and extension of front vaults at lower ground floor level, reconstruction of rear closet wings from lower ground up to first floor level, erection of two storey rear infill extension at lower ground and ground floor levels to no. 9 and single storey rear infill extension at lower ground floor level to no.10, and landscaping of front and rear gardens.		
Agent	Mr Max Plotnek		
On behalf of	Ms Kasia Robinski		
Registered Number	15/11895/FULL	Date amended/ completed	24 February 2016
Date Application Received	21 December 2015		
Historic Building Grade	Unlisted		
Conservation Area	Westbourne		

1. RECOMMENDATION

Grant conditional permission.

2. SUMMARY

The application site is occupied by two four-storey mid-terrace properties which are located on the east side of Northumberland Place in the Westbourne Conservation Area.

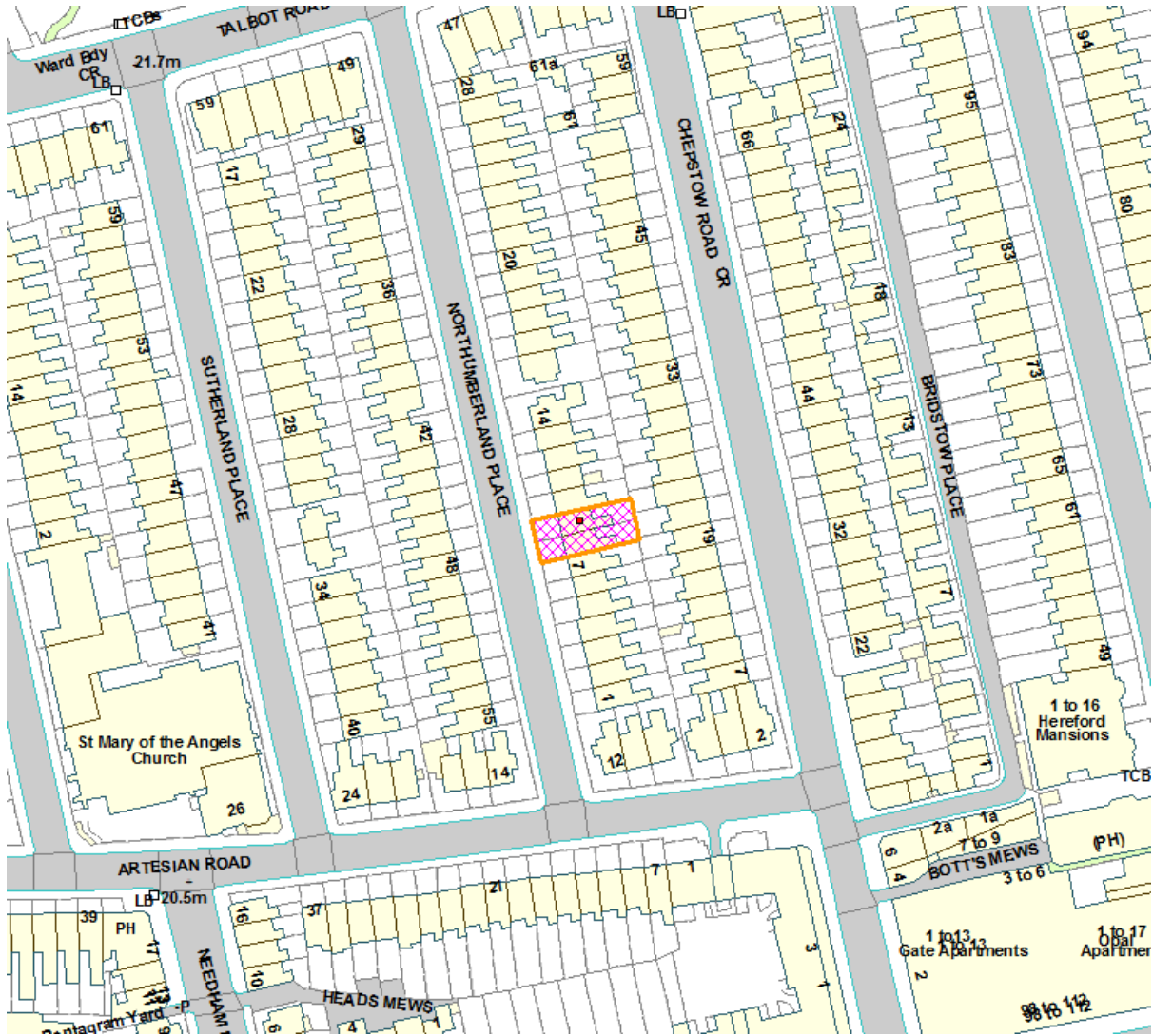
This application seeks planning permission for extensions and alterations to nos. 9 and 10 Northumberland Place, including the excavation of a sub-basement level extension with rear lightwell, the extension and excavation of the front vaults at lower ground floor level, the reconstruction of closet wings to include a ground floor extension at no. 9 and first floor extension at no.10, the erection of single and two-storey closet wing infill extensions and landscaping of the front and rear gardens.

Further to negotiation with the applicant the first floor extension above the closet wing at no.9 has been omitted, some of the skylights above the rear lightwell have been replaced by grilles and the extension in the front garden has been lowered to accommodate the required 1.2 metre soil depth. Following concerns raised by the Environmental Health Officer, the applicant confirmed that there will be no ventilation plant in the basement.

Several objections have been received by neighbouring occupiers as well as the Notting Hill East Neighbourhood Forum on the grounds of land use issues, design and townscape issues, structural issues and the impact of construction works.

Notwithstanding the objections received, the proposed development is considered to be acceptable and would accord with the relevant policies in Westminster's City Plan: Strategic Policies adopted in November 2013 (the City Plan) and the Unitary Development Plan adopted in January 2007 (the UDP).

3. LOCATION PLAN



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4. PHOTOGRAPHS



Front elevation



Rear elevation of 10 Northumberland Place

22 Jan 2016 10:16:08



Rear of 9 Northumberland Place

5. CONSULTATIONS

ORIGINAL CONSULTATION

BUILDING CONTROL:

The structural method statement is considered to be acceptable. An investigation of existing structures and geology has been undertaken and found to be of sufficient detail. The basement is to be constructed using traditional underpinning RC retaining walls, which is considered to be appropriate for this site. The proposals to safeguard adjacent properties during construction are considered to be acceptable.

ENVIRONMENTAL HEALTH:

Objections are raised on the grounds of the failure to identify the type of plant in the basement and provide a suitable acoustic report.

ARBORICULTURAL SECTION:

No objections are raised in respect of the impact on trees in adjoining gardens. However, in view of the lack of trees at nos. 9 and 10 a condition should be imposed requiring details of new tree planting. At the time of planting, the tree to the rear should attain a girth of 14-16cm whilst the tree in the front garden need not be as large.

NOTTING HILL EAST NEIGHBOURHOOD FORUM:

Objections are raised on the grounds of the unification of two houses. The notice letter sent by WCC on December 10 2010 illustrates and evidences that the two houses are not formally one house. The area depletes of residents and shops die almost daily. The unifying of houses is against policy.

ADJOINING OWNERS/OCCUPIERS :

No. Consulted: 28

Total No. of replies: 7 Objections were received on the following grounds;

Land Use

- The amalgamation of two houses is contrary to policy.

Structural Issues

- Drilling to check the quality of the soil has already caused serious structural cracks to neighbours' party walls;
- Proper concern has not been given to the effect this kind of development would have on the structural fabric of the properties either side;
- Potential implications for flooding in adjacent properties;
- It is believed that there is a river running underneath the length of Northumberland Place and therefore the excavation of a basement could encourage water into the lower floors of surrounding buildings.

Construction Works

- Noise, dirt and disruption generated by such a large basement extension which will last for several years;
- Northumberland Place has become one big, and never ending, building site with three developments that have used excessive numbers of lorries instead of skips;

- Lorries used have arrived from 7am, have caused incredibly distressing amounts of noise and disruption to daily lives, shake the houses to their foundations, cause subsidence and cracks in walls and double park, making the road inaccessible.

Other Issues

- Lives of neighbours are being ruined by unnecessary, excessive and often vanity basement and sub-basement developments;
- Westminster should be banning basement developments;
- It is queried when mansard extensions will be allowed to stop basement extensions as the only way of increasing residential floorspace;
- Westminster should be stricter on how applications are presented and described so that neighbours can fully understand.

PRESS ADVERTISEMENT / SITE NOTICE: Yes

CONSULTATION ON REVISED PLANS

Further to negotiation with the applicant the first floor extension above the closet wing at no.9 has been omitted, and some of the skylights above the rear lightwell have been replaced by grilles. Following concerns raised by the Environmental Health Officer, the applicant confirmed that there will be no ventilation plant in the basement. The reference to the amalgamation of the two properties has been omitted from the description of the proposal as it was evident at the time of a site visit for a certificate of lawfulness in 2010 that the two properties had already been amalgamated.

Fourteen day consultation letters were sent to neighbours following receipt of the amended plans and documents.

NOTTING HILL EAST NEIGHBOURHOOD FORUM:

Objections are raised on the grounds of concretisation of garden space front and back, the loss of one butterfly roof and the 42 documents of indifferent titling which are outside of the consumer act as they are not accessible nor openly readable to layfolk. It is also stated that their earlier remarks still stand and that they are 'opposed to such an anti green anti suds anti gaya and diluvian-hungry scheme'.

ADJOINING OWNERS/OCCUPIERS:

No. Consulted: 35

Total No. of replies: 4 Objections were received on the following grounds;

Land Use

- The loss of a separate dwelling should be closely scrutinised and give rise to serious objections.

Design

- It is questioned if the bulk of the scheme is appropriate in Northumberland Place and in a conservation area;
- Implications for character of the street.

Structural Issues

- Potential flood risk to adjacent properties.

Construction Works

- Inevitable noise, dirt and disruption generated;
- Disruption through the summer, limiting use of gardens;
- Distress to neighbours;
- Nuisance, especially for those with babies/young children/retires and elderly parents;
- Impact on ability of neighbours to work from home.

Other Issues

- Basement extension to double property is not necessary
- Allowing a single occupier to create 5000 square foot of space when the average house on the street has 2000 square foot creates too much of a divide with regard to the nature of ownership of houses in Northumberland Place;
- The precedent that such an approval will set.

FURTHER CONSULTATION

No further amendments have been made however the description of the proposal has been changed to better reflect the proposed works. Neighbours were given fourteen days to comments.

ADJOINING OWNERS/OCCUPIERS:

No. Consulted: 39

Total No. of replies: 0

6. BACKGROUND INFORMATION

6.1 The Application Site

The application site is occupied by two four-storey unlisted mid-terrace properties which are located on the east side of Northumberland Place in the Westbourne Conservation Area. No.9 Northumberland Place comprises lower ground (with single storey projection), ground, first and second floors and a roof top decked terrace accessed via a structure at roof level. No.10 Northumberland Place comprises lower ground, ground (with double height conservatory and 2-storey rear projection), first and second floors, but retains a butterfly roof.

6.2 Recent Relevant History

10/06293/FULL

Excavation beneath part of front garden to create new front extension, new front lightwell access stairs, and door to enlarged vaults. All in connection with enlargement of dwellinghouse.

Application Permitted 9 November 2010

10/08746/CLOPUD

Internal alterations in connection with use of both properties as one single family dwelling house.

Application Permitted

6 December 2010

7. THE PROPOSAL

This application seeks planning permission for alterations and extensions to two mid-terrace properties that have previously been amalgamated into a single dwellinghouse. The works comprise a basement underneath the entire footprint of nos.9 and 10 Northumberland Place with a lightwell across the entire rear elevation, half to be enclosed by skylights and the other half by metal grilles. At the front of the property, primarily to the front of no.9, the vaults at lower ground floor level would be excavated and extended in line with the front boundary to provide additional habitable accommodation.

To the rear, the ground floor closet wing at no.9 would extend as far into the garden as the existing lower ground floor extension below. At no.10, the closet wing would be extended up to first floor level and out to align with the lower ground and ground floor closet wing below. The existing two-storey conservatory on the boundary with no.11 would be relocated to infill the gap between the closet wings at nos. 9 and 10. A single storey conservatory would be built in its place.

8. DETAILED CONSIDERATIONS

8.1 Land Use

The application, as originally submitted, comprised the amalgamation of the two separate dwellinghouses. Such a development would be contrary to policy S14 of the City Plan which seeks to resist the loss of residential units. A site visit in association with an application for a certificate of lawful development for the amalgamation of the two dwellinghouses revealed that the internal doors between the two properties had been installed in 2010. The use of the two properties as a single dwellinghouse has therefore been in place since 2010 and would therefore appear to be lawful and would not require the benefit of planning permission. As such, this part of the proposed development has been omitted and no longer forms part of the considerations.

Notwithstanding neighbours' concerns regarding the necessity of a basement, the principle of providing additional floorspace to enlarge the existing residential dwelling is acceptable in land use terms and would accord with policy H3 in the Unitary Development Plan (UDP).

8.2 Townscape and Design

The two brick rear extensions (up to ground floor level at no.9 and first floor level at no.10) stop at or before the penultimate floor level of the building, and as such are considered acceptable in principle. They are appropriately designed and the projection follows the existing and the pattern to the larger extensions to the terrace. The additional height is regrettable in one respect, namely that to no. 10 a new sash window is created to the rear elevation on the top floor level thus removing the characteristic staggered impression of windows to the rear of such Victorian properties, however in the context of the terrace where to the immediate south similar works are in place for a run of buildings, this is not

considered as a reason for refusal. The removal of one two storey extension and its recreation between the two enlarged brick rear extensions is also considered acceptable. The original sash window to the location of the existing ground floor conservatory still remains in place and would be revealed by the works proposed and this is of more preferable appearance than the doorway to be enclosed at this level and as such this element of the works is considered acceptable.

The greater enclosure of the front lightwell to no. 10 will bring it closer to its likely original condition, and the installation of new decorative railings to match the originals remaining at no. 9 is welcomed and will improve the appearance of the front of the building.

The basements' only external manifestation is the lightwell set into the rear garden adjacent to the rear elevation. This has been amended to ensure a more discreet appearance during the course of the application and is now considered acceptable. The basement accommodation under the front garden has no visible manifestations other than the small window facing back into the relatively narrow lightwell to the building itself, details of which will be secured by condition, and as such this is considered acceptable.

The proposals would therefore comply with the objectives of policies S25 and S28 of the City Plan and policies DES1, DES5 and DES9 of the Unitary Development Plan.

The proposed basement would largely comply with the emerging basement policy to which the City Council has been attributing weight since the 1st of November 2015. The site benefits from the 'small site exception' which allows a basement to extend up to 4 metres from the building and would be limited to a single storey.

The rear lightwells would not be inset from the site boundary, however given that this is the only part of the basement level extension that extends beyond the building line at lower ground floor level and is relatively minor in scale and in any event is currently covered by a surface that is likely to be impermeable, it is considered that a refusal on this basis could not be justified. Similarly the front vaults have been extended along the boundary, which is also considered acceptable in this instance due to their small scale.

8.3 Residential Amenity

At subterranean level, the proposed basement itself would have no impact on the amenities of neighbouring occupiers in terms of a loss of light, loss of outlook or loss of privacy. The associated external manifestations are also considered to be acceptable in amenity terms.

Due to the presence and precise location of the closet wing at no.11 Northumberland Place, the proposed extensions at no.10 would have no impact on the amenities of the neighbouring occupiers.

It was considered that the first floor level of the closet wing at no.9 would materially affected the amenities of the occupiers of no.8 Northumberland Place by creating a sense of enclosure, however, this part of the proposal has since been omitted. The extension at ground floor is considered to be acceptable given the presence of the existing ground floor extension of a similar depth at no.8.

The remaining elements of the scheme raise no other material amenity concerns.

The proposals would therefore comply with the objectives of policy ENV13 of the Unitary Development Plan and policy S29 of the City Plan.

8.4 Transportation/Parking

The proposals are acceptable in terms of transportation and parking.

8.5 Economic Considerations

No economic considerations are applicable for a development of this size

8.6 Other UDP/Westminster Policy Considerations

Plant and Noise

Concerns have been raised by the City Council's Environmental Health Officer in respect of inadequate information in the submitted acoustic report relating to plant in the basement. The applicant has since amended the basement floor plan to remove the plant room negating the requirement for an acoustic report. The applicant should be advised by informative that the installation of any ventilation plant would require planning permission.

Trees

The proposals would not have a harmful impact on trees in adjoining gardens and would therefore comply with policy ENV16 in the adopted Unitary Development Plan. A condition is recommended to secure details of appropriate landscaping and tree planting to be implemented once works have been completed.

8.7 London Plan

This application raises no strategic issues.

8.8 National Policy/Guidance Considerations

The City Plan and UDP policies referred to in the consideration of this application are considered to be consistent with the NPPF unless stated otherwise.

8.9 Planning Obligations

Planning obligations are not relevant in the determination of this application.

8.10 Environmental Impact Assessment

Environmental impact issues have been covered in section 8.7 above.

8.11 Other Issues

Basement

The impact of this type of development is at the heart of concerns expressed by residents across many central London Boroughs, heightened by well publicised accidents occurring during basement constructions. Residents, including those at several of the neighbouring properties in this instance, are concerned that the excavation of new basements is a risky construction process with potential harm to adjoining buildings and occupiers. Many also cite potential effects on the water table and the potential increase in the risk of flooding.

Studies have been undertaken which advise that subterranean development in a dense urban environment, especially basements built under existing vulnerable structures is a challenging engineering endeavour and that in particular it carries a potential risk of damage to both the existing and neighbouring structures and infrastructure if the subterranean development is ill-planned, poorly constructed and does not properly consider geology and hydrology.

While the Building Regulations determine whether the detailed design of buildings and their foundations will allow the buildings to be constructed and used safely, the National Planning Policy Framework March 2012 states that the planning system should contribute to and enhance the natural and local environment by preventing both new and existing development from contributing to or being put at unacceptable risk from, or being adversely affected by land instability.

The NPPF goes on to state that in order to prevent unacceptable risks from land instability, planning decisions should ensure that new development is appropriate for its location. It advises that where a site is affected by land stability issues, responsibility for securing a safe development rests with the developer and/or landowner.

The NPPF advises that planning decisions should ensure that a site is suitable for its new use taking account of ground conditions and land instability and any proposals for mitigation, and that adequate site investigation information, prepared by a competent person, is presented.

Officers consider that in the light of the above it would be justifiable to adopt a precautionary approach to these types of development where there is a potential to cause damage to adjoining structures. To address this, the applicant has provided a structural engineer's report explaining the likely methodology of excavation. Any report by a member of the relevant professional institution carries a duty of care which should be sufficient to demonstrate that the matter has been properly considered at this early stage.

The purpose of such a report at the planning application stage is to demonstrate that a subterranean development can be constructed on the particular site having regard to the site, existing structural conditions and geology. It does not prescribe the engineering techniques that must be used during construction which may need to be altered once the excavation has occurred. The structural integrity of the development during the construction is not controlled through the planning system but through Building Regulations and the Party Wall Act.

A construction methodology statement has been provided as part of the application and the City Council's Building Control Surveyors have raised no concerns regarding this statement. Should permission be granted, this statement will not be approved, nor will conditions be imposed requiring the works to be carried out in accordance with it. The purpose of the report is to show that there is no foreseeable impediment to the scheme satisfying the Building Regulations in due course. It is considered that this is as far as this matter can reasonably be taken as part of the consideration of the planning application. Detailed matters of engineering techniques, and whether these secure the structural integrity of the development and neighbouring buildings during the course of construction, are controlled through other statutory codes and regulations, cited above. To go further would be to act beyond the bounds of planning control.

The City Council have been preparing guidance and policies to address the need to take into consideration land instability, flood risk and other considerations when dealing with basement applications. The City Council adopted the Supplementary Planning Document 'Basement Development in Westminster' on 24 October 2014, which was produced to provide further advice on how current policy can be implemented in relation to basement development - until the formal policy can be adopted.

The basement guidelines and basements policy documents have different status in the planning process. The SPD having now been adopted can be given considerable weight (known as material weight or a material consideration). Since 1st November 2015 weight is also being attributed to parts of the new basement policy.

Construction impact

Objections have been received from neighbouring residents regarding the impact of construction work associated with the proposed basement, the timescale for the proposed construction phase and general disturbance associated with construction activity.

Whilst planning permission cannot be withheld on the basis of these objections, a Construction Management Plan has been submitted with the application. This is considered appropriate and reasonable at application stage. However, a condition is recommended to secure a more fully detailed construction management plan prior to the commencement of works. A further condition is recommended to control the hours of construction works, particularly noisy works of excavation. This should go some way towards mitigating the concerns raised by neighbours.

Other objections

Neighbours have queried the City Council's general approach to basements and have suggested that they should be banned, with mansard roof extensions being favoured instead. However, the process of determining a single application for planning permission is not the arena for debating the soundness of the City Council's policies. Concerns have also been raised in respect of the way in which the information was presented by the applicant however, officers were satisfied that the way in which the information was presented was adequate to validate the application.

Works to the main roofs do not form part of this application. The loss of the butterfly roof and the installation of a roof terrace was evident at the site visit in association with the certificate of lawfulness that was issued in 2010. As this was over four years ago and no enforcement notice has since been issued, it is likely to be lawful.

One neighbour expresses concern about the precedent that allowing this development would set. However all future application would be assessed on their merits and with regard to adopted policy at the time.

8.12 CONCLUSION

Notwithstanding the objections received, the proposed development, subject to appropriate conditions, is considered to be acceptable in land use, design, amenity, arboricultural and environmental terms and would therefore accord with the relevant policies in Westminster's City Plan: Strategic Policies adopted in November 2013 and the Unitary Development Plan adopted in January 2007.

9. BACKGROUND PAPERS

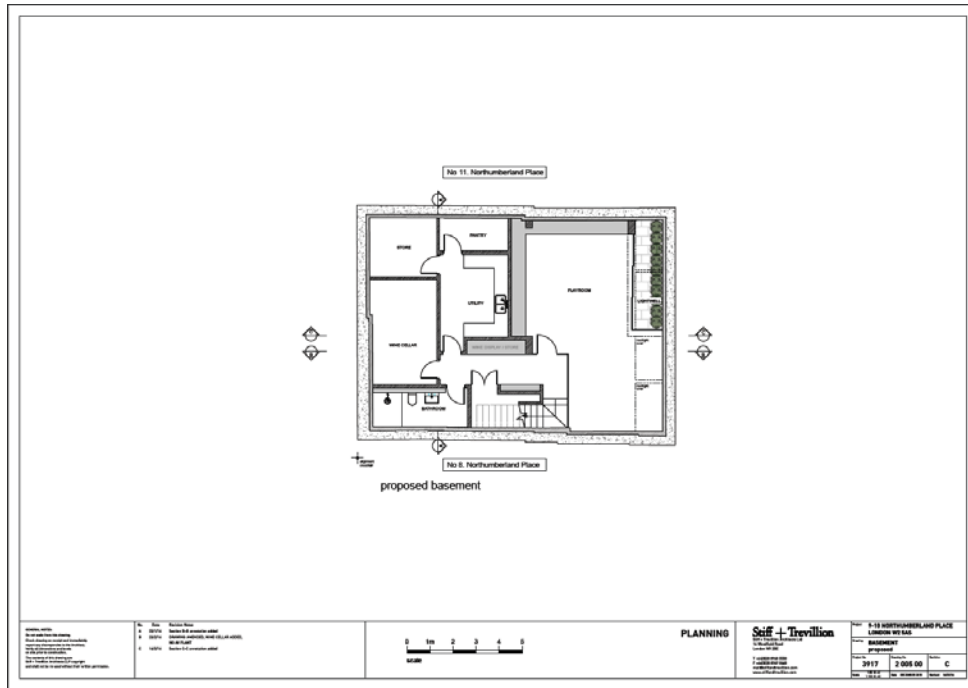
1. Application form
2. Response from Arboricultural Section, dated 25 January 2016
3. Response from Building Control, dated 31 March 2016
4. Response from Notting Hill East Neighbourhood Forum, dated 9 February and 30 March 2016
5. Memorandum from Environmental Health, dated 18 February 2016
6. Letter from occupier of 51 Northumberland, London, dated 18 January 2016
7. Letter from occupier of 45 Northumberland Place, London, dated 19 January 2016
8. Letter from occupier of 17 Chepstow Road, London, dated 27 January 2016
9. Letter from occupier of Basement Flat, 49A Chepstow Road, dated 31 January 2016
10. Letter from occupier of 11 Northumberland Place, London, dated 3 February 2016
11. Letter from occupier of Cooks Farm, Nuthurst, dated 8 February 2016
12. Letter from occupier of 12 Northumberland Place, London, dated 18 February 2016
13. Letter from occupier of 51 Northumberland Place, dated 23 March 2016
14. Letter from occupier of 19 Chepstow Road, dated 23 March 2016
15. Letter from occupier of 7 Northumberland Place, dated 24 March 2016
16. Letter from occupier of 17 Chepstow Road, dated 31 March 2016

(Please note: All the application drawings and other relevant documents and Background Papers are available to view on the Council's website)

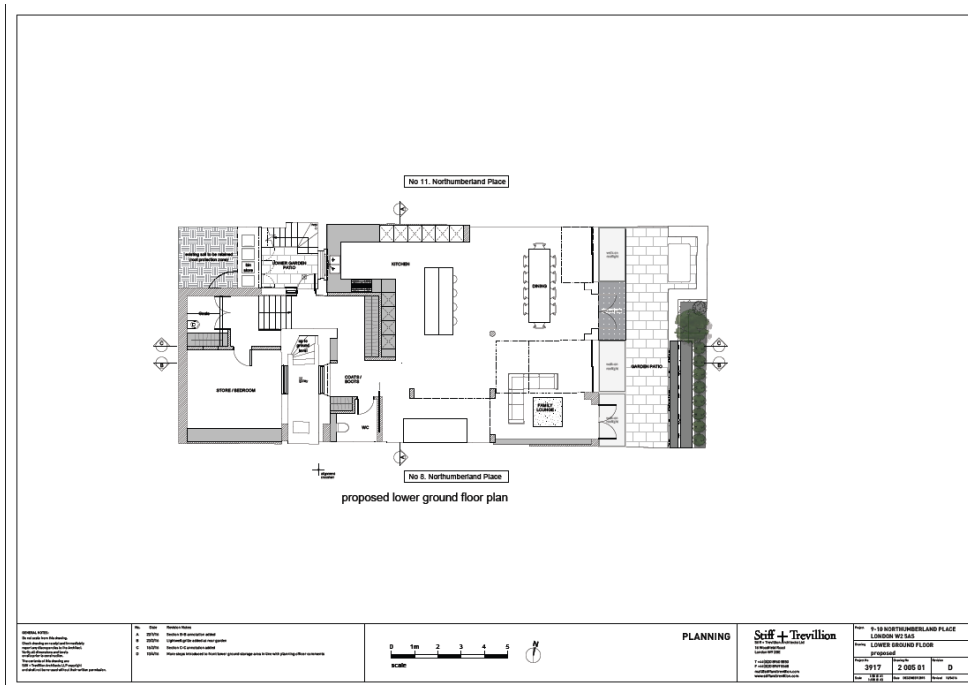
IF YOU HAVE ANY QUERIES ABOUT THIS REPORT PLEASE CONTACT CLAIRE BERRY ON 020 7641 4203 OR BY EMAIL AT NorthPlanningTeam@westminster.gov.uk

10. KEY DRAWINGS

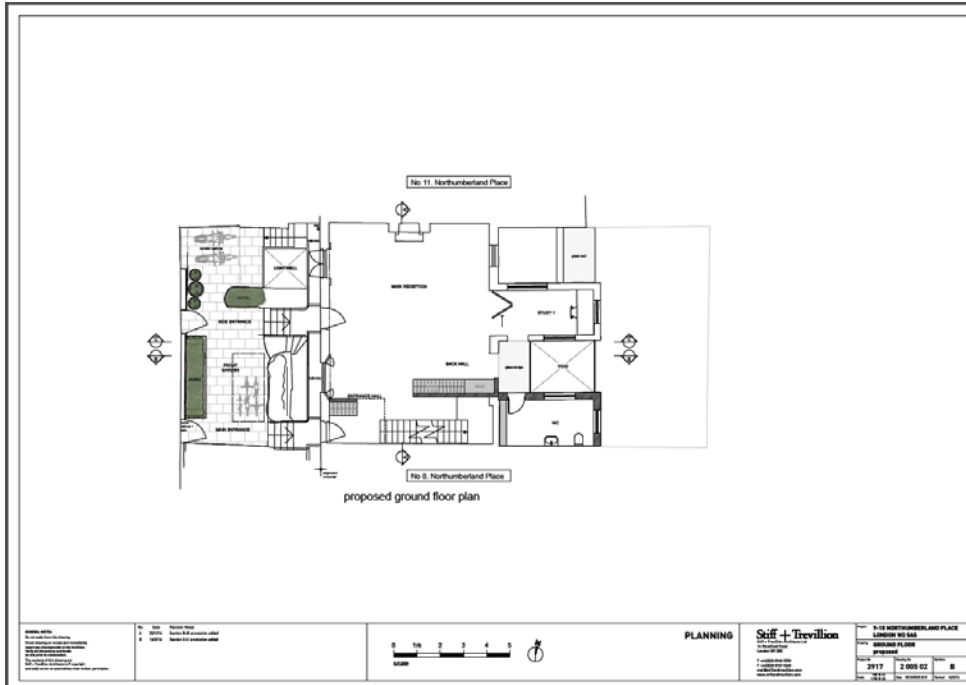
Proposed Basement



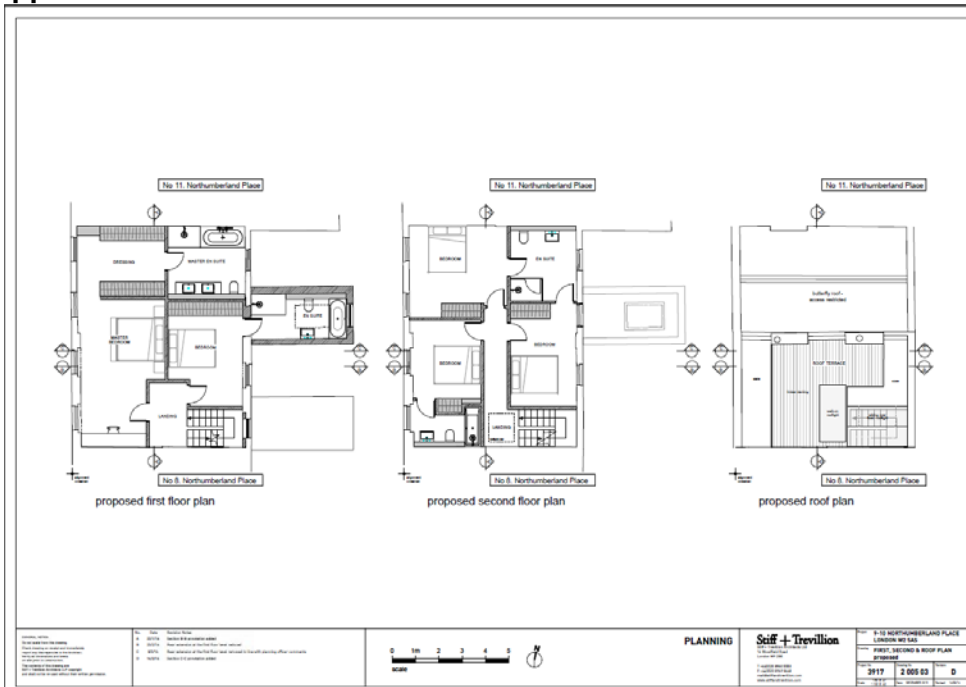
Proposed Lower Ground Floor



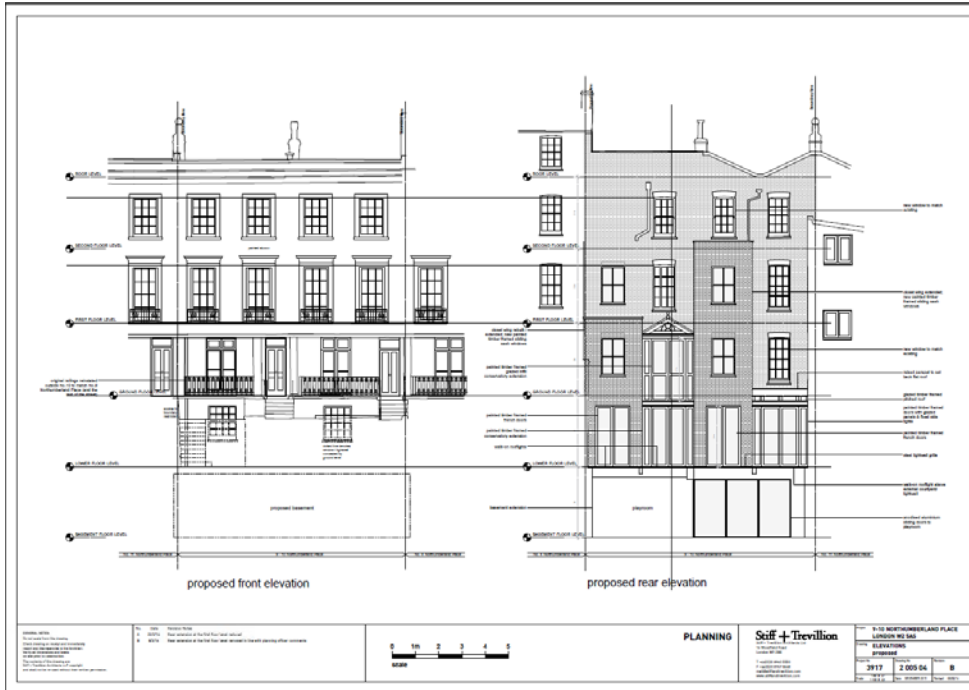
Proposed Ground Floor



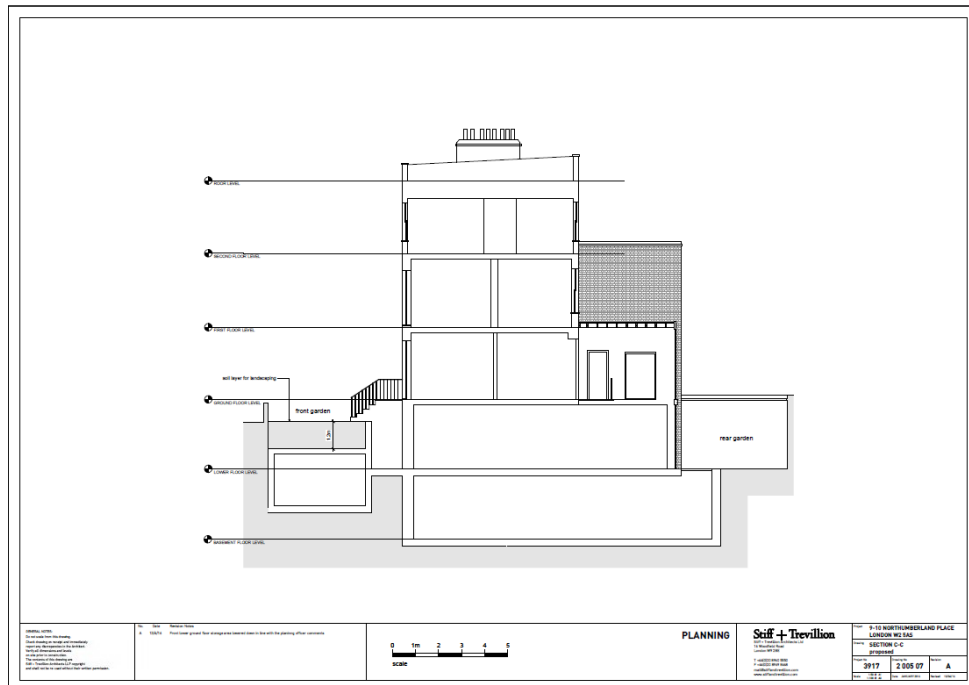
Proposed Upper Floors



Proposed Elevations



Proposed Section



DRAFT DECISION LETTER

Address: 9 - 10 Northumberland Place, London, W2 5BS,

Proposal: Extensions and alterations to nos. 9 and 10 Northumberland Place, including excavation of sub-basement level extension with rear lightwell, extension and excavation of front vaults at lower ground floor level, reconstruction of closet wings to include ground floor extension at no. 9 and first floor extension at no.10, erection of single and two-storey closet wing infill extensions and landscaping of front and rear gardens (Revised description of proposal to better reflect proposed works shown on plans).

Plan Nos: 1 000 01, 1 005 01 A, 1 005 02 A, 1 005 03 A, 1 005 04, 1 005 06, 2 005 00 C, 2 005 01 D, 2 005 02 B, 2 005 03 D, 2 005 04 B, 2 005 06 C, 2 005 07 A, Planning Statement dated December 2015, Arboricultural Report and Tree Condition Survey dated November 2015, Daylight and Sunlight Assessment dated December 2015, Heritage Statement dated December 2015.

Case Officer: Claire Berry

Direct Tel. No. 020 7641 4203

Recommended Condition(s) and Reason(s) or Reason(s) for Refusal:

- 1 The development hereby permitted shall be carried out in accordance with the drawings and other documents listed on this decision letter, and any drawings approved subsequently by the City Council as local planning authority pursuant to any conditions on this decision letter.

Reason:

For the avoidance of doubt and in the interests of proper planning.

- 2 Except for basement excavation work, you must carry out any building work which can be heard at the boundary of the site only:
 - * between 08.00 and 18.00 Monday to Friday;
 - * between 08.00 and 13.00 on Saturday; and
 - * not at all on Sundays, bank holidays and public holidays.

You must carry out basement excavation work only:

- * between 08.00 and 18.00 Monday to Friday; and
- * not at all on Saturdays, Sundays, bank holidays and public holidays.

Noisy work must not take place outside these hours. (C11BA)

Reason:

To protect the environment of neighbouring residents. This is as set out in S29 and S32 of Westminster's City Plan: Strategic Policies adopted November 2013 and ENV 6 of our Unitary Development Plan that we adopted in January 2007. (R11AC)

- 3 All new work to the outside of the building must match existing original work in terms of the choice

of materials, method of construction and finished appearance. This applies unless differences are shown on the drawings we have approved or are required by conditions to this permission.
(C26AA)

Reason:

To make sure that the appearance of the building is suitable and that it contributes to the character and appearance of this part of the Westbourne Conservation Area. This is as set out in S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1 and DES 5 or DES 6 or both and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R26BE)

- 4 The facing brickwork must match the existing original work in terms of colour, texture, face bond and pointing. This applies unless differences are shown on the approved drawings. (C27CA)

Reason:

To make sure that the appearance of the building is suitable and that it contributes to the character and appearance of this part of the Westbourne Conservation Area. This is as set out in S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1 and DES 5 or DES 6 or both and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R26BE)

- 5 You must apply to us for approval of an elevation drawing of the new window to lower ground floor level within the front lightwell. You must not start any work on these parts of the development until we have approved what you have sent us.

You must then carry out the work according to this drawing (C26DB)

Reason:

To make sure that the appearance of the building is suitable and that it contributes to the character and appearance of this part of the Westbourne Conservation Area. This is as set out in S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1 and DES 5 or DES 6 or both and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R26BE)

- 6 The new railings to the front elevation shall be formed in black painted metal

Reason:

To make sure that the appearance of the building is suitable and that it contributes to the character and appearance of this part of the Westbourne Conservation Area. This is as set out in S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1 and DES 5 or DES 6 or both and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R26BE)

- 7 The new windows to the rear elevation shall be formed in glazing and white painted timber framing

Reason:

To make sure that the appearance of the building is suitable and that it contributes to the character and appearance of this part of the Westbourne Conservation Area. This is as set out in S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1 and DES 5 or DES 6 or both and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R26BE)

- 8 You must not use the roof of the extension for sitting out or for any other purpose. You can however use the roof to escape in an emergency. (C21BA)

Reason:

To protect the privacy and environment of people in neighbouring properties. This is as set out in S29 and S32 of Westminster's City Plan: Strategic Policies adopted November 2013 and ENV 6 and ENV 13 of our Unitary Development Plan that we adopted in January 2007. (R21BC)

- 9 **Pre Commencement Condition.** No development shall take place, including any works of demolition, until a construction management plan for the proposed development has been submitted to and approved in writing by the City Council as local planning authority. The plan shall provide the following details:

- (i) a construction programme including a 24 hour emergency contact number;
- (ii) parking of vehicles of site operatives and visitors (including measures taken to ensure satisfactory access and movement for existing occupiers of neighbouring properties during construction);
- (iii) locations for loading/unloading and storage of plant and materials used in constructing the development;
- (iv) erection and maintenance of security hoardings (including decorative displays and facilities for public viewing, where appropriate);
- (v) wheel washing facilities and measures to control the emission of dust and dirt during construction; and
- (vi) a scheme for recycling/disposing of waste resulting from demolition and construction works.

You must not start work until we have approved what you have sent us. You must then carry out the development in accordance with the approved details.

Reason:

To protect the environment of residents and the area generally as set out in S29 of Westminster's City Plan: Strategic Policies adopted November 2013 and STRA 25, TRANS 23, ENV 5 and ENV 6 of our Unitary Development Plan that we adopted in January 2007.

- 10 You must apply to us for approval of detailed drawings of a hard and soft landscaping scheme which includes the number, size, species and position of trees and shrubs. You must not start work on the relevant part of the development until we have approved what you have sent us. You must then carry out the landscaping and planting within one planting season of completing the development (or within any other time limit we agree to in writing).

If you remove any trees or find that they are dying, severely damaged or diseased within five of planting them, you must replace them with trees of a similar size and species. (C30CB)

Reason:

To improve the appearance of the development and its contribution to biodiversity and the local environment, as set out in S38 of Westminster's City Plan: Strategic Policies adopted November 2013 and ENV 16, ENV 17 and DES 1 (A) of our Unitary Development Plan that we adopted in January 2007. (R30AC)

Informative(s):

- 1 In dealing with this application the City Council has implemented the requirement in the National Planning Policy Framework to work with the applicant in a positive and proactive way. We have made available detailed advice in the form of our statutory policies in Westminster's City Plan: Strategic Policies adopted November 2013, Unitary Development Plan, Supplementary Planning documents, planning briefs and other informal written guidance, as well as offering a full pre application advice service, in order to ensure that applicant has been given every opportunity to submit an application which is likely to be considered favourably. In addition, where appropriate, further guidance was offered to the applicant at the validation stage.
- 2 This permission is based on the drawings and reports submitted by you including the structural methodology report. For the avoidance of doubt this report has not been assessed by the City Council and as a consequence we do not endorse or approve it in anyway and have included it for information purposes only. Its effect is to demonstrate that a member of the appropriate institution applying due diligence has confirmed that the works proposed are feasible without risk to neighbouring properties or the building itself. The construction itself will be subject to the building regulations and the construction methodology chosen will need to satisfy these regulations in all respects.
- 3 The installation of any ventilation plant in the basement will require a further application for planning permission.